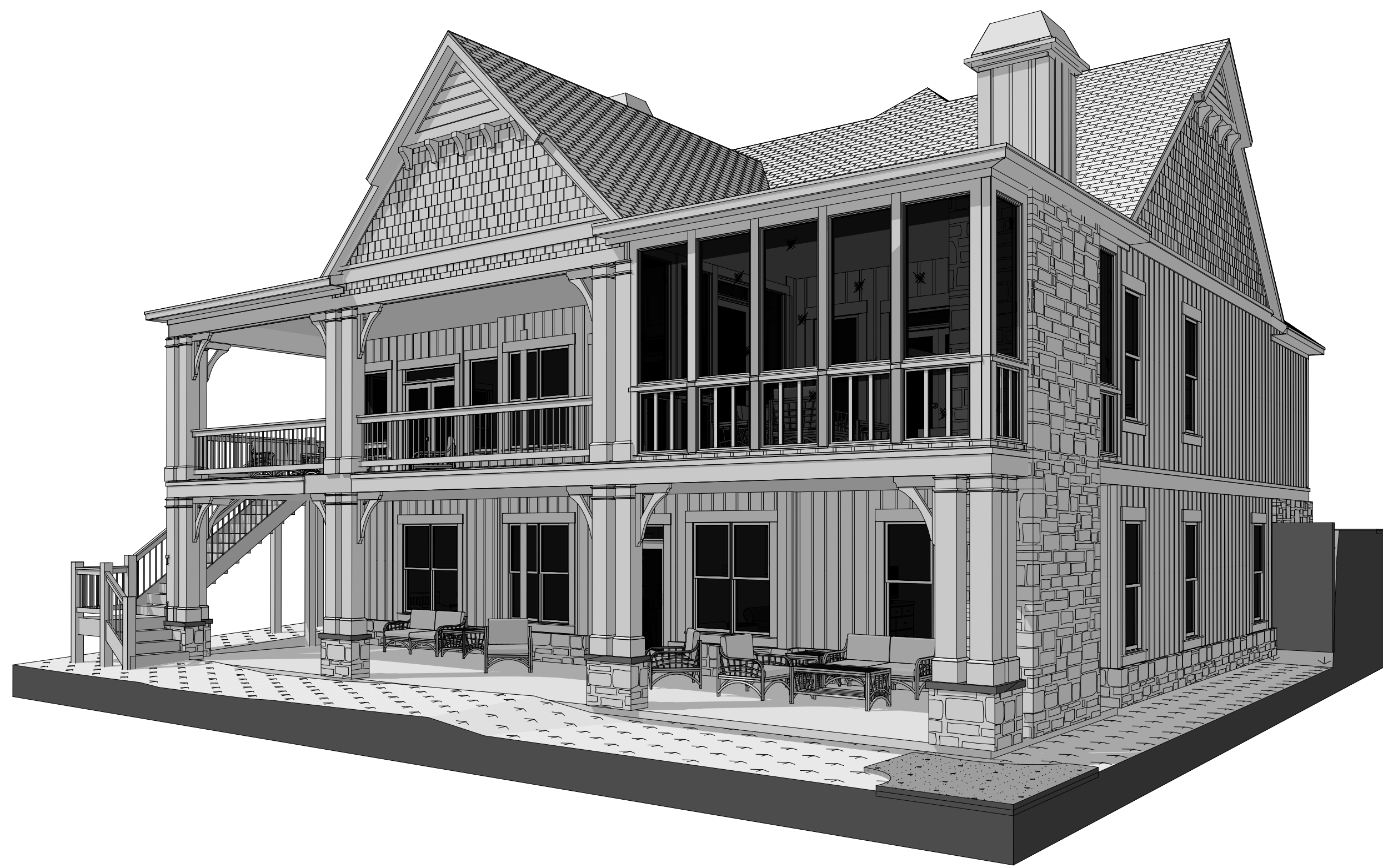


**SITE PLAN NOTES:**

- BEFORE ANY CONSTRUCTION, SITE PLAN MUST BE CHECKED AGAINST CURRENT RECORD PLATE. SITE PLANS SHOULD NEVER BE ASSUMED CORRECT.
- IF THE HOUSE AND OR OUT BUILDING IS WITHIN 3'-0" OF ANY SET BACKS OR BUILDING FOOT PRINT OCCUPIES MORE THAN 1/3 OF THE LOT SIZE THEN THE GENERAL CONTRACTOR SHALL HAVE A LICENSED SURVEYOR STAKE OUT AND OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCRONCH ON ANY SETBACKS OR EASEMENTS, UNLESS THE ENCRONCHMENT IS ALLOWED BY ZONING AND BUILDING CODES. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY ENCRONCHMENT ISSUES THAT MEY NEED TO BE RESOLVED.
- THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATIONS OF TREES AND THE PROPOSED HOUSE. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY RECOMMENDED CHANGES BEFORE TEH START OF ANY WORK.
- THE GENERAL SHALL LOCATE ALL UTILITY SERVICES I.E. WATER SERVICES, GAS, ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXTENTIONS TO THE HOUSE WITH TEH APPROPRIATE INTALLER. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL LANDSCAPING WITH THE OWNER AND DETERMINE WHETHER THE LANDSCAPING PACKAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.
- TYPICAL CONTROL JOISTS AND OR KEYWAYS IN SLABS ON GRADE SHALL BE SPACED 10' TO 15' WITH A MIN. 1" DEEP.



**ABBREVIATIONS**

A/C	AIR CONDITIONING	DISP.	DISPOSAL or DISAPPEAR	H.W.	HARDWOOD or HOT WATER	POLY.	POLYETHYLENE	STR.	STRUCTURAL
A.B.	ANCHOR BOLT	DIV.	DIVISION	I.C.F.	INSULATED CONCRETE FORM	PR.	PAIR	SYM.	SYMETRICAL
ABV.	ABOVE	DN.	DOWN	INSUL.	INSULATION	PSF.	POUNDS PER SQUARE FOOT	SYS.	SYSTEM
ADJ.	ADJUSTABLE	DR.	DOOR	INTI.	INTERIOR	PSI.	POUNDS PER SQUARE INCH	T&B	TOP AND BOTTOM
AFF.	ABOVE FINISHED FLOOR	DW.	DISHWASHER	JST.	JOIST	P.T.	PRESSURE TREAT	T&G	TONGUE AND GROOVE
ALTRN.	ALTERNATE	DWR.	DRAWER	KIT.	KITCHEN	R/A	RETURN AIR	T.B.	TOWEL BAR
APPROX.	APPROXIMATE	EXH.	EXHAUST FAN	LAM.	LAMINATE OR LAMINATED	R&S.	ROD & SHELF	TEMP.	TEMPORARY
B&B	BOARD & BATTEN	ELV.	ELEVATION	LBL.	LABEL	RAD.	RADIUS	THK.	THICK OR THICKNESS
BLDG.	BUILDING	ELEC.	ELECTRIC OR ELECTRICAL	L.F.	LINEAR FOOT	REC.	RECESSED	THR.	THRESHOLD
BLK.	BLOCK	ELEV.	ELEVATOR	LDG.	LANDING	REBAR.	REINFORCING BAR	T.O.M.	TOP OF MASONRY
BLKG.	BLOCKING	ENCL.	ENCLOSURE	LT.	LIGHT	REF.	REFERENCE REFRIGERATOR	TPL.	TOP OF PLATE
BLT-IN.	BUILT-IN	EXT.	EXTERIOR	LTL.	LINTEL	REG.	REGISTER	TYP.	TYPICAL
BM.	BEAM	F.D.	FLOOR DRAIN	LVR.	LOUVER	REQD.	REQUIRED	UNF.	UNFINISHED
BOT.	BOTTOM	F.F.E.	FINISHED FLOOR ELEVATION	MECH	MECHANICAL	REV.	REVISION	V.B.	VAPOR BARRIER
BRK.	BRICK	FIXT.	FIXTURE	MFR.	MANUFACTURER	RFG.	ROOFING	VENT.	VENTILATION
BSMNT.	BASEMENT	FLR.	FLOOR	MIN.	MINIMUM	RGH-IN.	ROUGH-IN	VERT.	VERTICAL
BTWN.	BETWEEN	FND.	FOUNDATION	MIRR.	MIRROR	RM.	ROOM	V.T.	VINYL TILE
CAB.	CABINET	FRPL.	FIREPLACE	MISC.	MISCELLANEOUS	R/O	ROUGH OPENING	W/	WITH
CATV.	CABLE TELEVISION	FTG.	FOOTING	MRB.	MARBLE	RTG.	RATING	W/O	WITHOUT
CLG.	CEILING	FUT.	FUTURE	MTD.	MOUNTED	R.V.	ROUGH VENT	WB.	WOOD BASE
C.M.U.	CONCRETE MASONRY UNIT	F.D.	FLOOR DRAIN	N.F.C.	NOT FOR CONSTRUCTION	SCH.	SCHEDULE	W.C.	WATER CLOSET
COL.	COLUMN	G.B.	GARAGE DOOR	N.T.S.	NOT TO SCALE	SCRN.	SCREEN	WD.	WOOD
CONC.	CONCRETE	G.D.	GRAB BAR	O/C	ON CENTER	SEC.	SECTION	W.H.	WATER HEATER
CONT.	CONTINUOUS	GLU-LAM	GLUE LAMINATED	OBS.	OBSCURE	S.F.	SQUARE FOOT	W.I.C.	WALK-IN CLOSET
CPT.	CARPET	GYP.	GYPSUM	O.F.B.	OUTSIDE FACE OF BRICK	SH.	SHelf OR SHELving	WIN.	WINDOW
CSMT.	CASEMENT	H/C	HANDICAP OR HANDICAPPED	O.F.S.	OUTSIDE FACE OF STUD	SHT	SHEET	W.P.	WATERPROOFING
C.T.	CERAMIC TILE	H.B.	HOSE BIBB	OH.	OVERHEAD	S.I.P.	STRUCTURAL INSULATED PANEL	WSC.	WAINSCOT
CULT-MRB.	CULTURED MARBLE	H.C.	HOLLOW CORE	OPNG.	OPENING	SKLT.	SKYLIGHT	W.T.W.	WALL TO WALL
CULT-STN.	CULTURED STONE	HDR.	HEADER	P.B.	PUSH BUTTON	SPEC.	SPECIFICATIONS	W.W.M.	WELDED WIRE MESH
DET.	DETAIL	HORIZ.	HORIZONTAL	P.C.	PULL CHAIN	SPEAKER	SPEAKER		
D.H.	DOUBLE HUNG	H.R.	HIP RAFTER	PL.	PROPERTY LINE	SO.	SQUARE		
DIAG.	DIAGONAL	HGT.	HEIGHT	P.LAM.	PLASTIC LAMINATE	STD.	STANDARD		
DIM.	DIMENSION	H.V.A.C.	HEATING, VENTILATION AND A/C	PLF.	POUNDS PER LINEAR FOOT	STOR.	STORAGE		

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A241-B11  
Abbey Cove 11

**DIMENSIONS:**  
WIDTH: 52'-10"  
DEPTH: 90'-07"

**FOOTAGE:**  
1.First Floor: 1,823.2  
Basemt. Floor: 1,543.7

**TOTAL LIVING** 3,366.9  
Car./Storage: 1,006.2  
Porches: 1,486.2

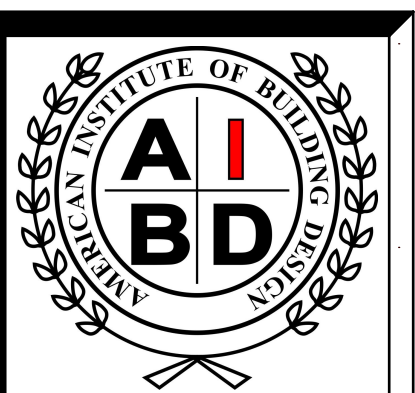
**TOTAL ROOFED** 5,859.3

**ROOMS:**  
FLOORS: 2  
BEDROOMS: 5  
BATHS: 4  
STORAGE: 1  
GARAGE/PORT.: 2



2074 Hwy 14 East  
Prattville, AL 36066  
Office: 334.385.4567  
Fax: 334.491.2020  
Email: hudson1@hhdplans.com

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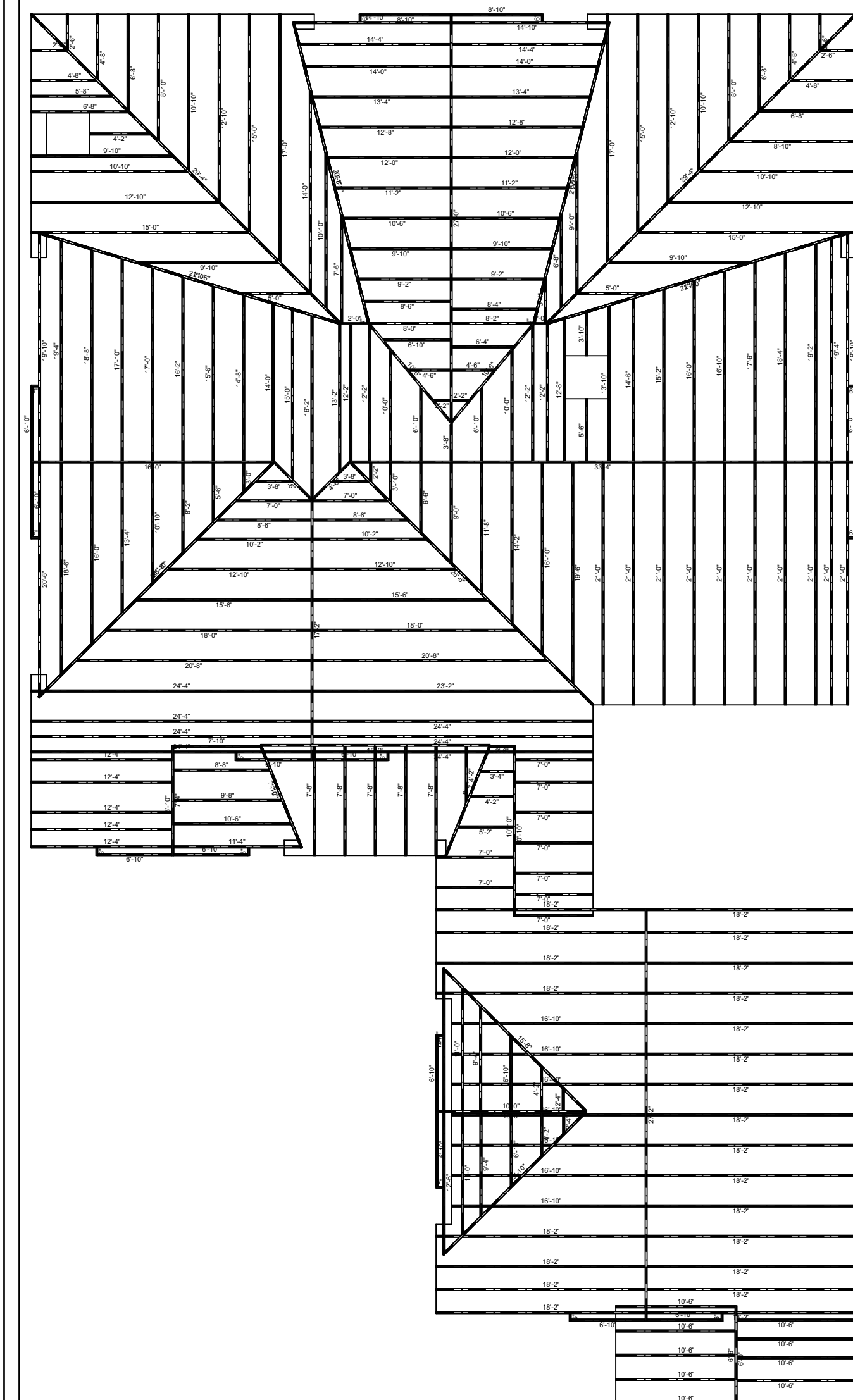
A-1  
Cover

Final Set  
10/25/2021

W:\HHD-PROJECTS\0000-CUSTOM\PLANS\A241-B1\A241-B1.dwg

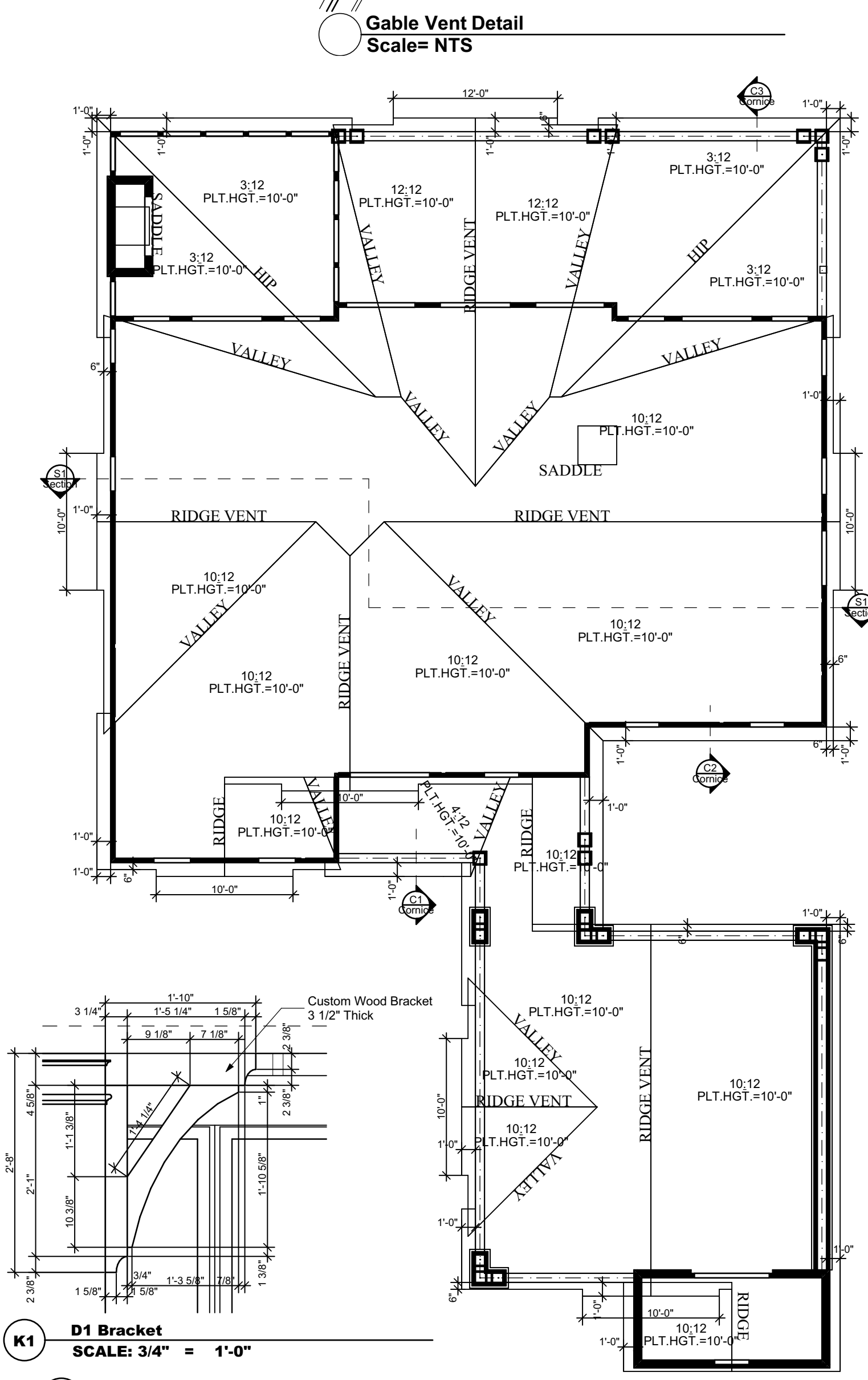
**CONSTRUCTION NOTES:**

- THE DATA ON THIS SET OF CONSTRUCTION DOCUMENTS IS SHOWN TO RELATE BASIC DESIGNS INTENT AND FRAMING DETAILS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A STRUCTURALLY SOUND AND WEATHER PROOF FINISHED PRODUCT. THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY ISSUES AND SPECIFIC ITEMS WHICH ARE PERCEIVED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ALL STRUCTURAL ELEMENTS SUCH AS JOIST SIZE AND SPACING, BEAM AND HEADER SIZES, BEAM CONNECTIONS, ETC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES AS PER THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AS PER THE LOCAL JURISDICTION.
- WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. THE GENERAL CONTRACTOR SHOULD NOTIFY THE DESIGNER IF A SPECIFIED SIZE IS NOT AVAILABLE.
- REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- ALL WINDOWS THAT DO NOT COMPLY WITH (R612.2) 24" MIN. WINDOW SILL HEIGHT AND MORE THAN 72" FROM FINISHED GRADE, SHALL BE EQUIPPED WITH FALL PREVENTION DEVICES (R612.3).
- THE GENERAL CONTRACTOR SHALL ENSURE THAT PRE-FAB FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES.
- THE GENERAL CONTRACTOR SHALL COORDINATE GAS AND/OR ELECTRIC SERVICE REQUIREMENTS WITH THE OWNER.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF THE UTILITY METERS WITH LOCAL UTILITY PROVIDER, TO BE LOCATED AWAY FROM THE PROMINENT VIEW.



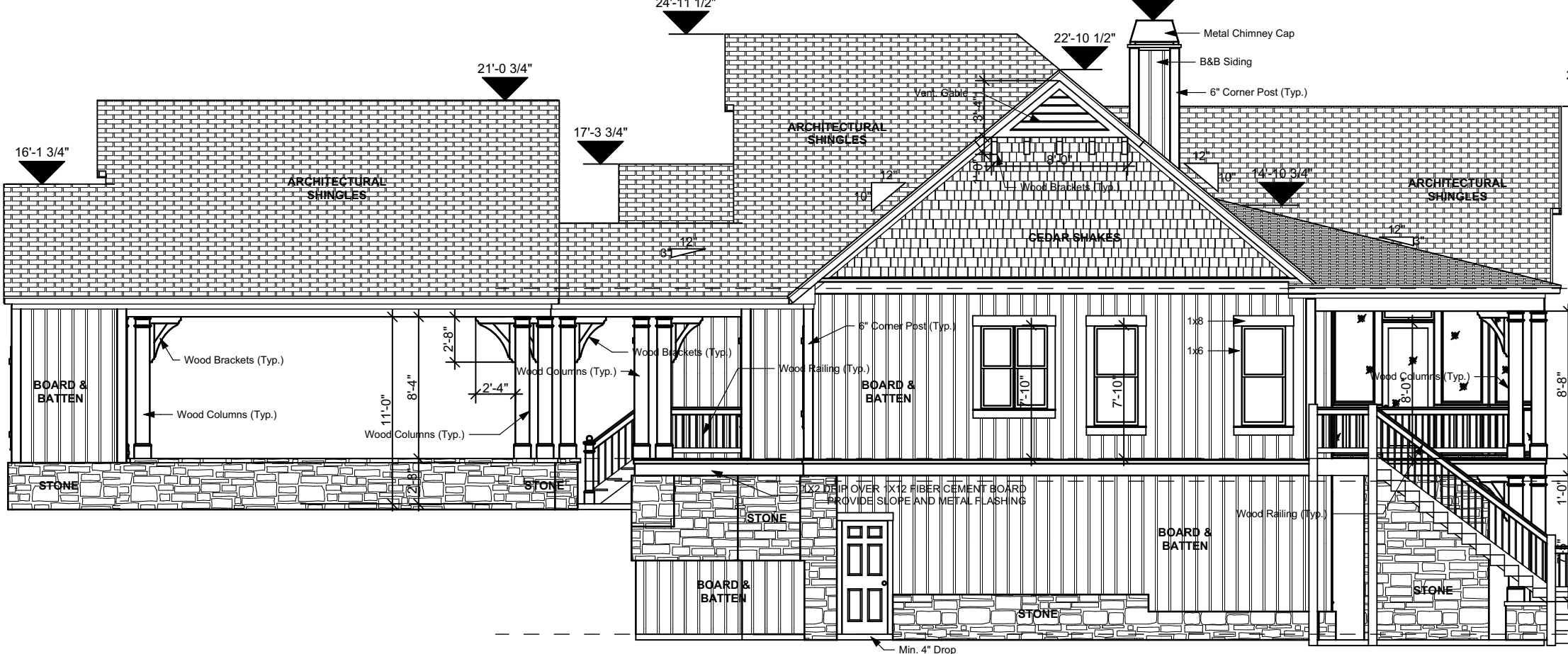
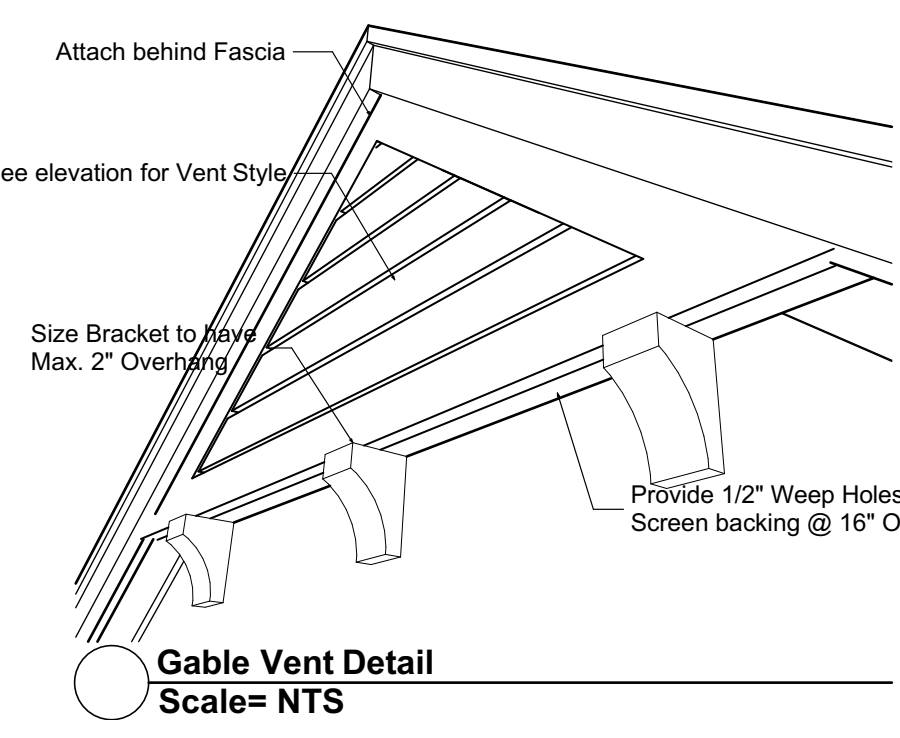
**1. RAFTER PLAN**  
SCALE: 1/8" = 1'-0"

RAFTER TAKEOFF (verify allowable spans)			
Quantity	Rafter Call Length	Rafter Pitch	Renovation Status
7	2X6X10	3:12	Existing
10	2X6X10	10:12	Existing
9	2X6X10	12:12	Existing
5	2X6X12	3:12	Existing
18	2X6X12	10:12	Existing
6	2X6X12	12:12	Existing
5	2X6X14	3:12	Existing
18	2X6X14	10:12	Existing
6	2X6X14	12:12	Existing
4	2X6X16	3:12	Existing
10	2X6X16	10:12	Existing
4	2X6X16	12:12	Existing
16	2X6X18	10:12	Existing
2	2X6X18	3:12	Existing
32	2X6X20	10:12	Existing
13	2X6X22	10:12	Existing
1	2X6X24	10:12	Existing
7	2X6X26	10:12	Existing
7	2X6X4	3:12	Existing
11	2X6X4	10:12	Existing
2	2X6X4	12:12	Existing
14	2X6X8	3:12	Existing
35	2X6X8	10:12	Existing
5	2X6X8	12:12	Existing
6	2X6X8	4:12	Existing
3	2X8X10	Existing	
4	2X8X12	Existing	
3	2X8X16	Existing	
2	2X8X18	Existing	
8	2X8X22	Existing	
2	2X8X26	Existing	
3	2X8X28	Existing	
2	2X8X32	Existing	
1	2X8X34	Existing	
16	2X8X4	Existing	
8	2X8X8	Existing	

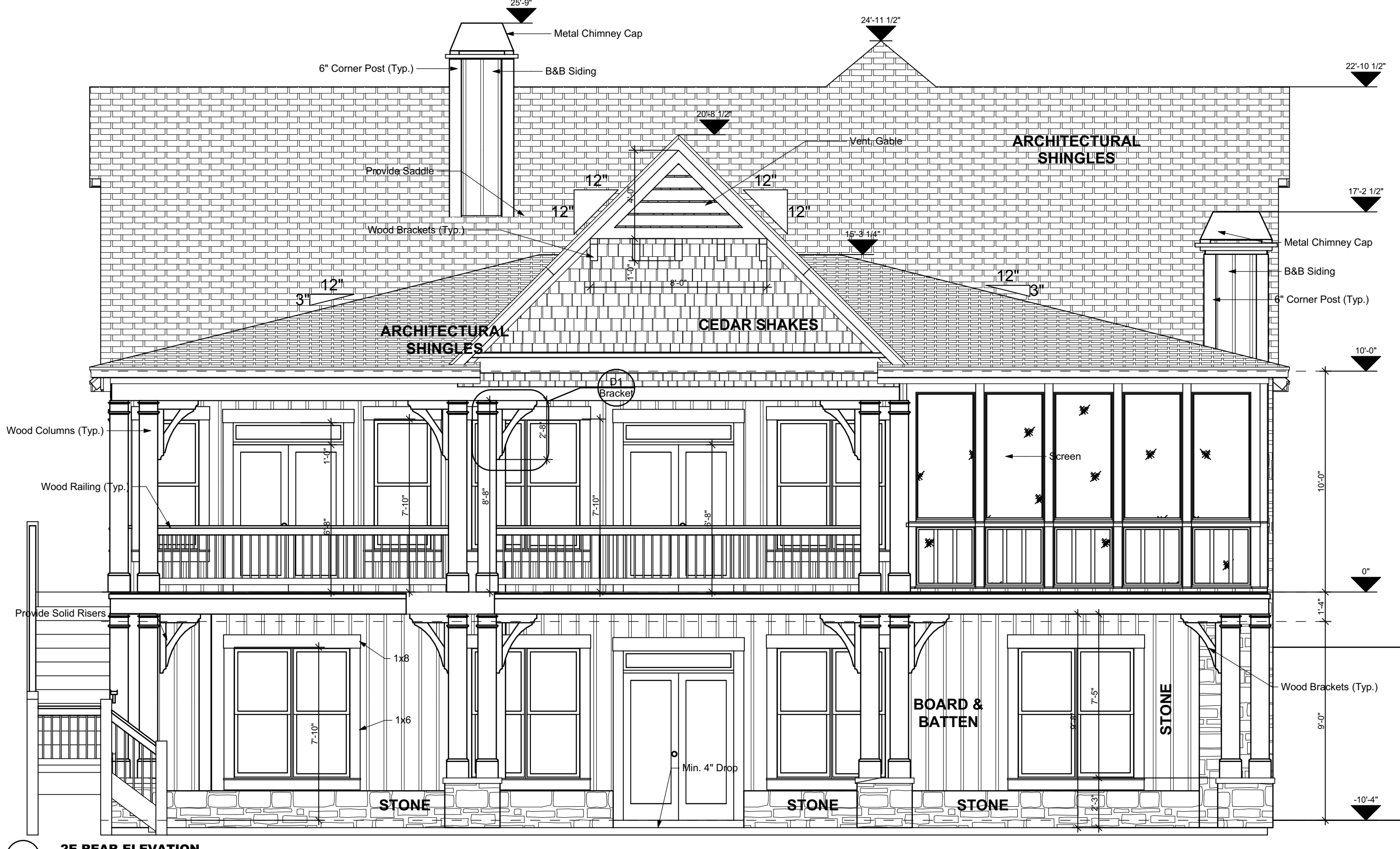


**1. ROOF PLAN**  
SCALE: 1/8" = 1'-0"

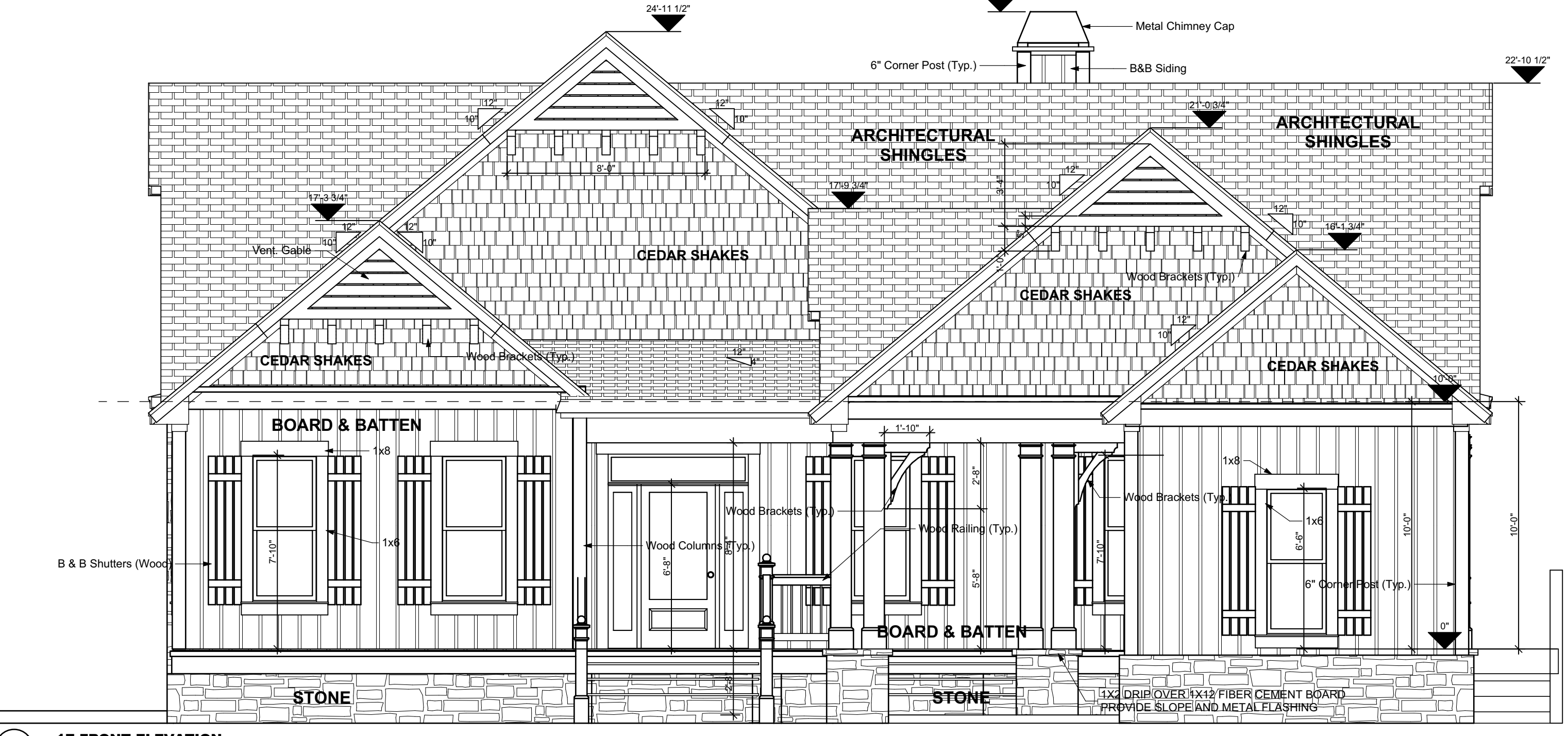
ROOF SURFACE AREA	
Surface Sq. Ft.	Renovation Status
4,693.3	Existing



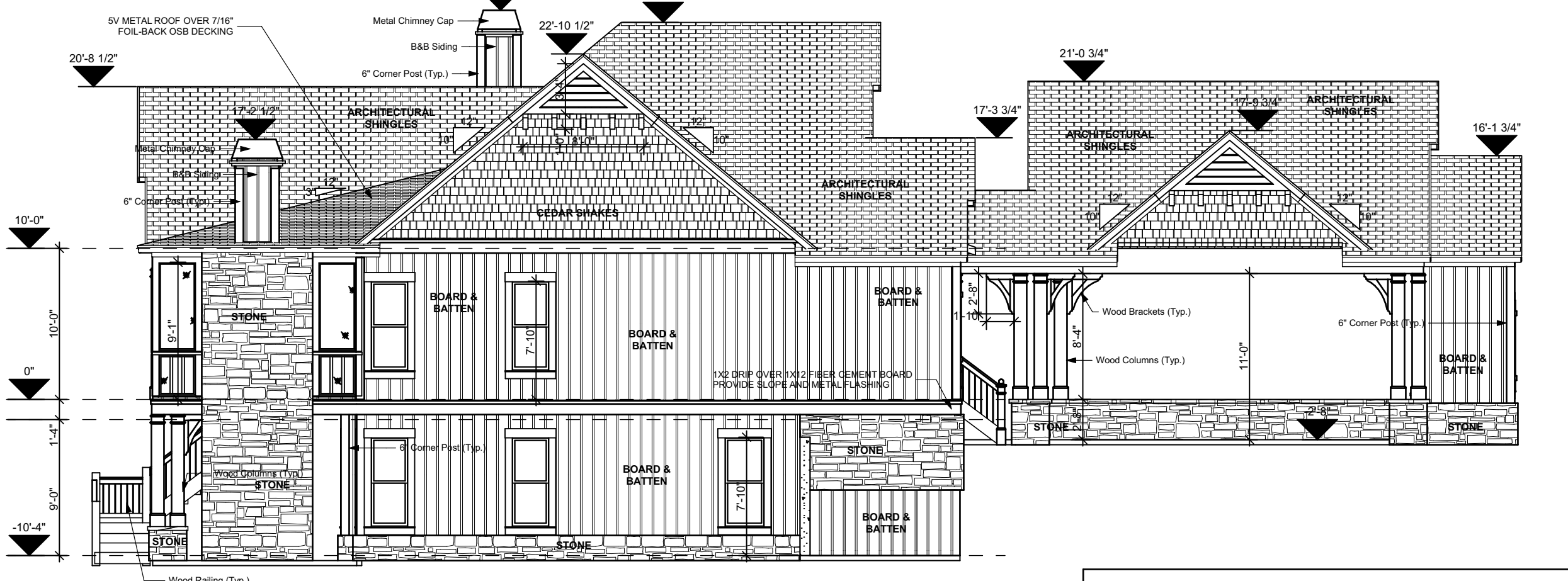
**3E 3E RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**2E 2E REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1E 1E FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**4E 4E LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

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**PLAN:**  
A241-B11  
Abbey Cove 11

**DIMENSIONS:**  
WIDTH: 52'-10"  
DEPTH: 90'-07"

**FOOTAGE:**  
1st Floor: 1,823.2  
Basemt. Floor: 1,543.7

**TOTAL LIVING** 3,366.9  
Car./Storage: 1,006.2  
Porches: 1,486.2

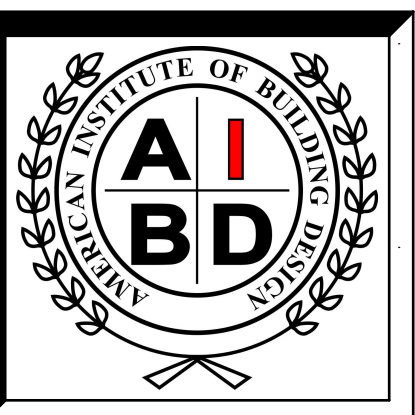
**TOTAL ROOFED** 5,859.3

**ROOMS:**  
FLOORS: 2  
BEDROOMS: 5  
BATHS: 4  
STORAGE: 1  
GARAGE/PORT.: 2



2074 Hwy 14 East  
Prattville, AL 36066  
Office: 334.365.4567  
Fax: 334.491.2020  
Email: hudson@hhdplans.com

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**CONTACT:**

A-2  
Elevation

Final Set  
10/25/2021

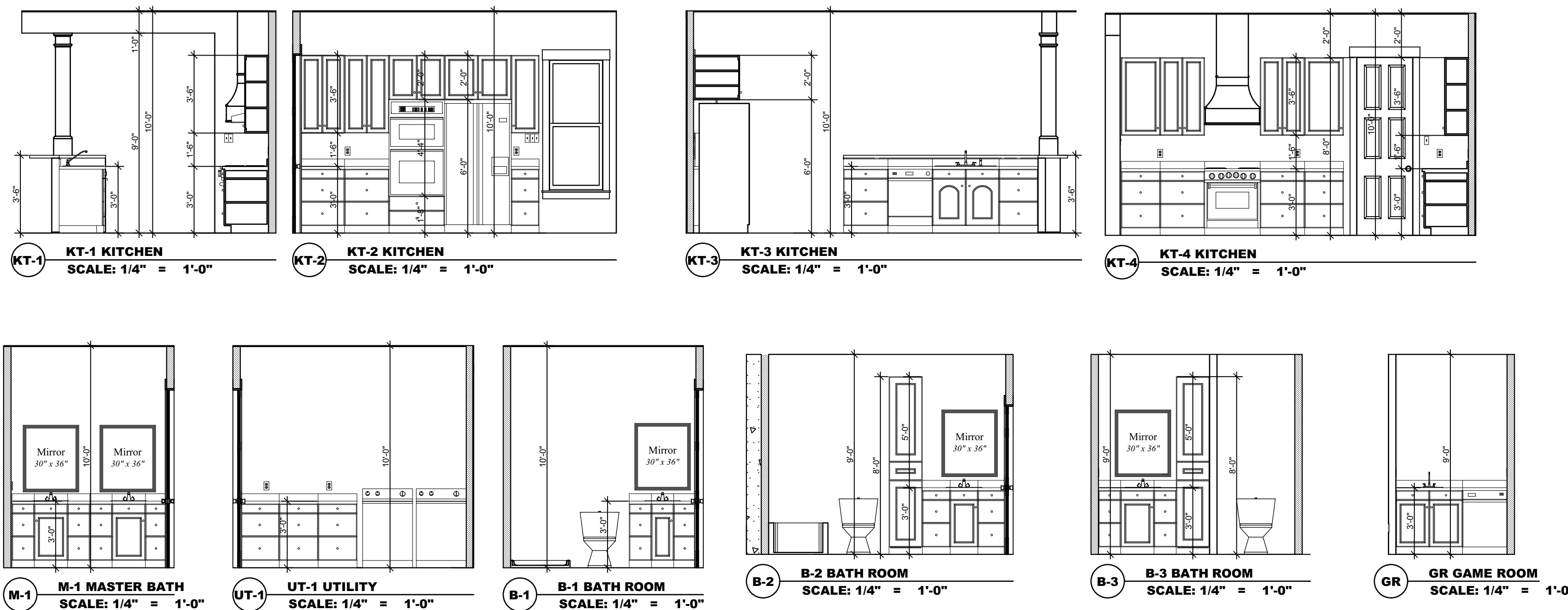
Monday, October 25, 2021

**FRAMING NOTES:**

- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL AND CENTER OF INTERIOR WALLS UNLESS OTHERWISE NOTED. WALLS NOT NOTED AND OR DIMENSIONED ARE TYPICALLY 4" DEEP NOMINAL (2x4) and 6" for (2x6)
- ALL FRAMING MATERIAL SHALL BE #2 KD MINIMUM.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
- PROVIDE "X" BRACING OR SOLID BLOCKING AT A MAXIMUM OF 6'-0" O.C. AT ALL FLOOR JOIST.
- GLUE AND SCREW PLYWOOD DECKING TO FLOOR JOIST TO ENSURE A "NONSQUEAK" FLOOR SYSTEM.
- ALL STUD WALLS SHALL BE FRAMED @ 16" O.C.
- ALL ANGLED WALLS SHALL BE FRAMED AT A 45 ANGLE UNLESS OTHERWISE NOTED.
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH EXTERIOR GRADE PLYWOOD FROM PLATE TO PLATE.
- TYPICAL EXTERIOR 2x4 AND 2x6 STUD WALLS SHALL BE SHEATHED WITH 1/2" FOAM BOARD FOR BRICK APPLICATION ONLY AND EXTERIOR APPROVED PLYWOOD ALL OTHER.
- ALL WALLS OVER 12'-0" HIGH SHALL BE 2x6'S AT 16" O.C. AND RECEIVE 2 ROWS OF 2x6 BLOCKING AT 1/3 POINTS OF HEIGHT.
- PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
- PROVIDE SOLID STUD UNDER ALL BEAM BEARING POINTS and BE A MIN. TRIPLE STUD.
- ALL BEAMS AND JOIST INTERSECTIONS SHALL RECEIVE GALVANIZED BEAM HANGERS.
- PROVIDE DOUBLE 2x6 STRONGBACK BRACING AT CENTER OF JOIST SPANS OVER 10'-0"
- PROVIDE 2x6 COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST.
- PROVIDE 2x4 RAFTER TIES AT ALL PLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
- HIP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN TYPICAL RAFTERS.

**PLUMBING NOTES:**

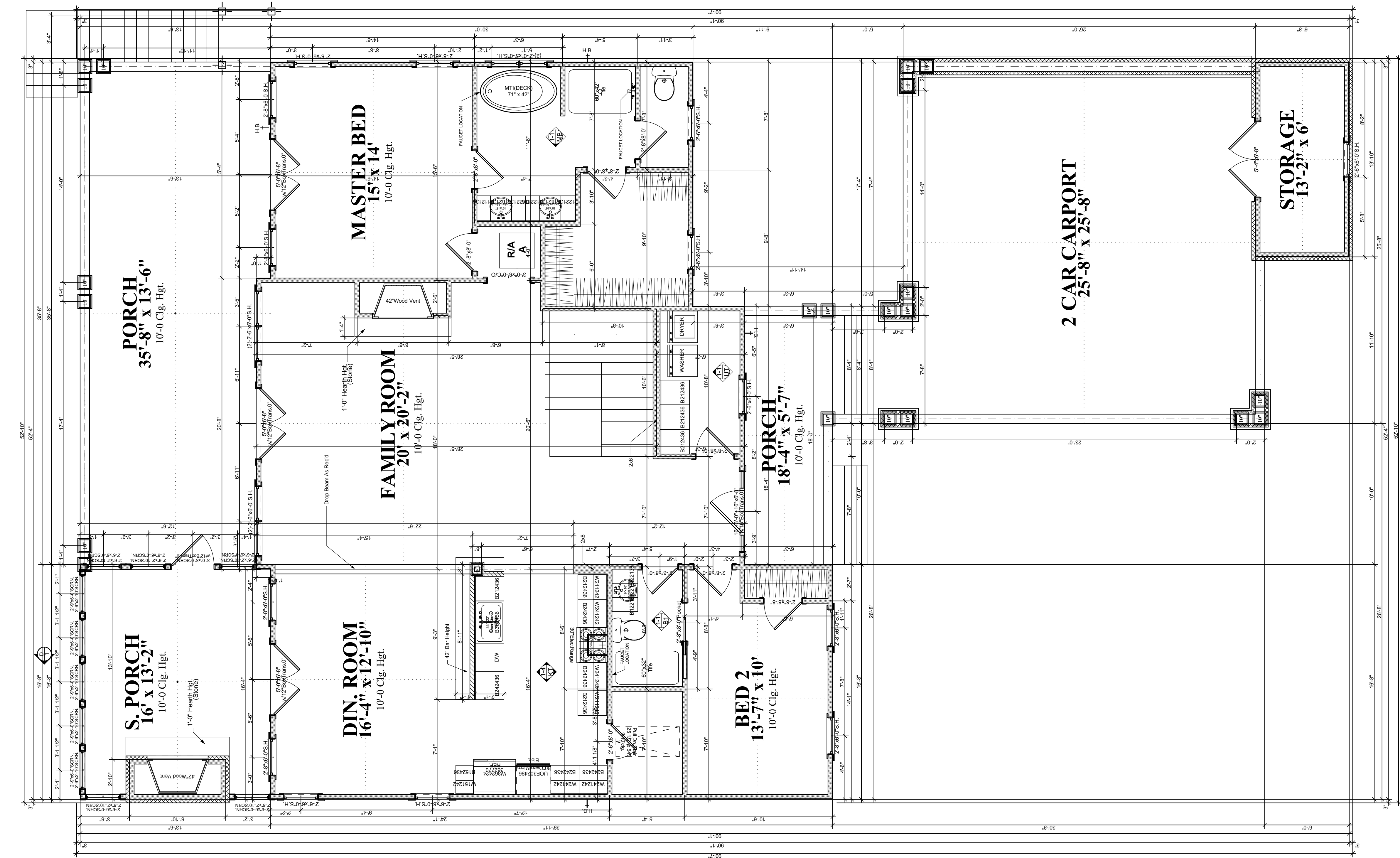
- THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- PROVIDE GAS SERVICE TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.
- IF WALL PLATE OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT PROVIDE BRACING TO THE TIE FRAMING BACK TOGETHER.
- PROVIDE METAL PAN AND AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW FOR TANK WATER HEATERS
- ALL GAS WATER HEATERS TO BE VENTED AT TOPOUT.
- ALL PLUMBING VENT STACKS SHALL BE LOCATED CLOSE TOGETHER IN THE ATTIC. THEY SHALL BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS SHALL BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
- PROVIDE HOSE BIBS AS PER FOUNDATION AND FIRST FLOOR PLAN LOCATIONS.
- PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR INSULATING EXPOSED PIPES IN ATTIC.



APPLIANCE SCHEDULE (To Be Demolished = Base Option) (New = New Option) (Existing = Everything Else)							
Location	Qty	Type	Manufacture	Product ID	Model Number	Product Notes	Renovation Status
1	Cooking	Jenn-Air	GE30"	JTP205FFSUEB1..			Existing
1	Dishwasher	GE	GE34"DW	GS06200JB			Existing
2	FirePlace	Majestic	MAJ42"WOOD-Vent	SHR42A			Existing
1	Range Slide-In	GE	GE30"Elec	PS9663PSS			Existing
1	Refrigeration			Size36x27x70			Existing
1	Refrigeration	Jenn-Air	Jenn24"U.C Ref	JVC2450A			Existing
1	Vent	GE	GE30"Under Cab.	JV635HBB			Existing
1	WD						Existing

PLUMBING SCHEDULE (To Be Demolished = Base Option) (New = New Option) (Existing = Everything Else)								
Home Story	Location	Qty	Type	Product ID Name	Manufacture	Model Number	Product Notes	Renovation Status
FOUNDATION	1	Hose Bib	Hose Bib					Existing
BASEMENT	1					21 G.P.H.#90		To Be Demolished
BASEMENT	1	Shower	PSB-4842	Pearl			Verify Drain Location	Existing
BASEMENT	1	Sink-Veg	Legacy	MTI	MTBS-100		Specify Faucet Centers	Existing
BASEMENT	1	Tub	Competitive TubShower	Aqua Glass	326032A-RL		Specify Left or Right Drain	Existing
BASEMENT	2	Sink	Cultured Marble	Custom			Specify Faucet Centers	Existing
BASEMENT	2	Toilet	Dalton 1.6 Elongated	TOTO	CST734F			Existing
BASEMENT	3	Hose Bib	Hose Bib					Existing
1st. FLOOR	1	Shower Head						Existing
1st. FLOOR	1	Shower	PSB-6042	Pearl			Verify Drain Location	Existing
1st. FLOOR	1	Shower	PSB-4842	Pearl			Verify Drain Location	Existing
1st. FLOOR	1	Sink	Culinaire	American Stand..	7502.103		Specify Faucet Centers	Existing
1st. FLOOR	1	Tub	Sumner I	MTI	MTI-10		Verify Drain Loc.	Existing
1st. FLOOR	2	Toilet	Dalton 1.6 Elongated	TOTO	CST734F			Existing
1st. FLOOR	3	Sink	Cultured Marble	Custom			Specify Faucet Centers	Existing

HHD LIST CEILINGS (To Be Demolished = Base Option) (New = New Option) (Existing = Everything Else)					
Floor (Story)	Surface	ID	Notes	Area	Renovation Status
1st. FLOOR	4.161.9	Ceiling-Interior		4,161.9	Existing
1st. FLOOR	1.462.2	Ceiling-Porch		1,462.2	Existing
<b>5,624.1 sq.ft.</b>					



1. 1st. FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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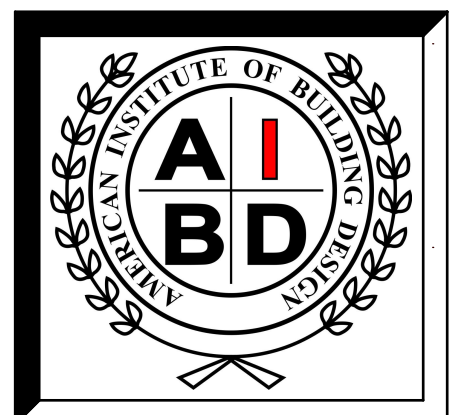
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2074 Hwy 14 East  
Prattville, AL 36066  
Office: 334.365.4567  
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Email: hudson1@hhdplans.com

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Material Lists  
3-D Modeling

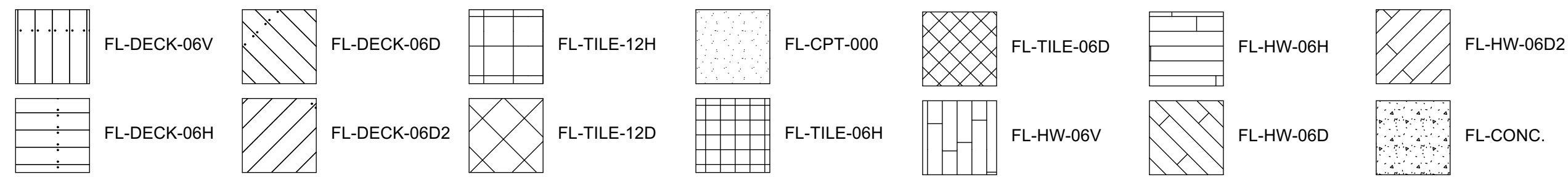


**CONTACT:**

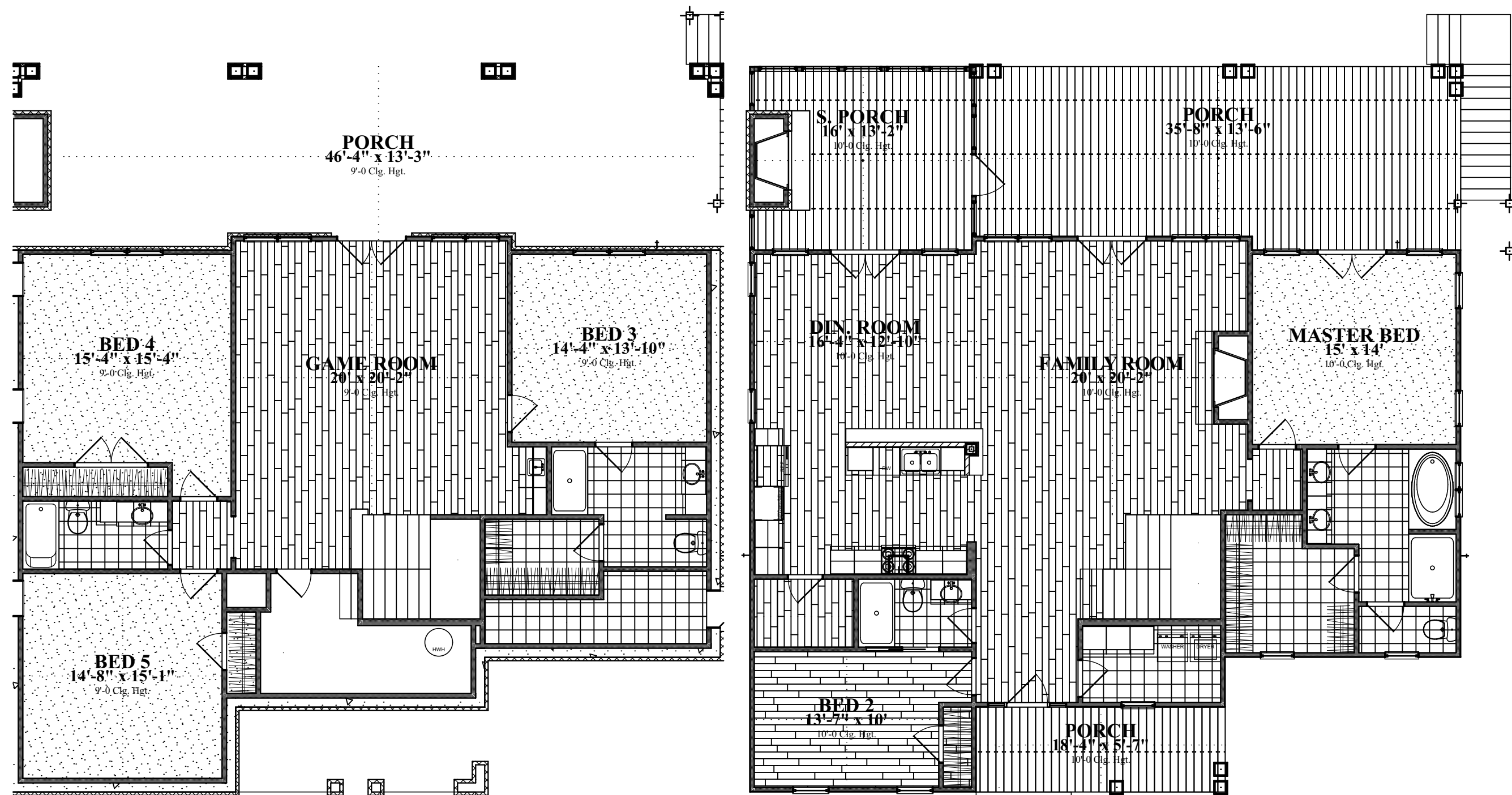
A-4  
Floor Plan(s)

Final Set  
10/25/2021

**FLOORING LEGEND**

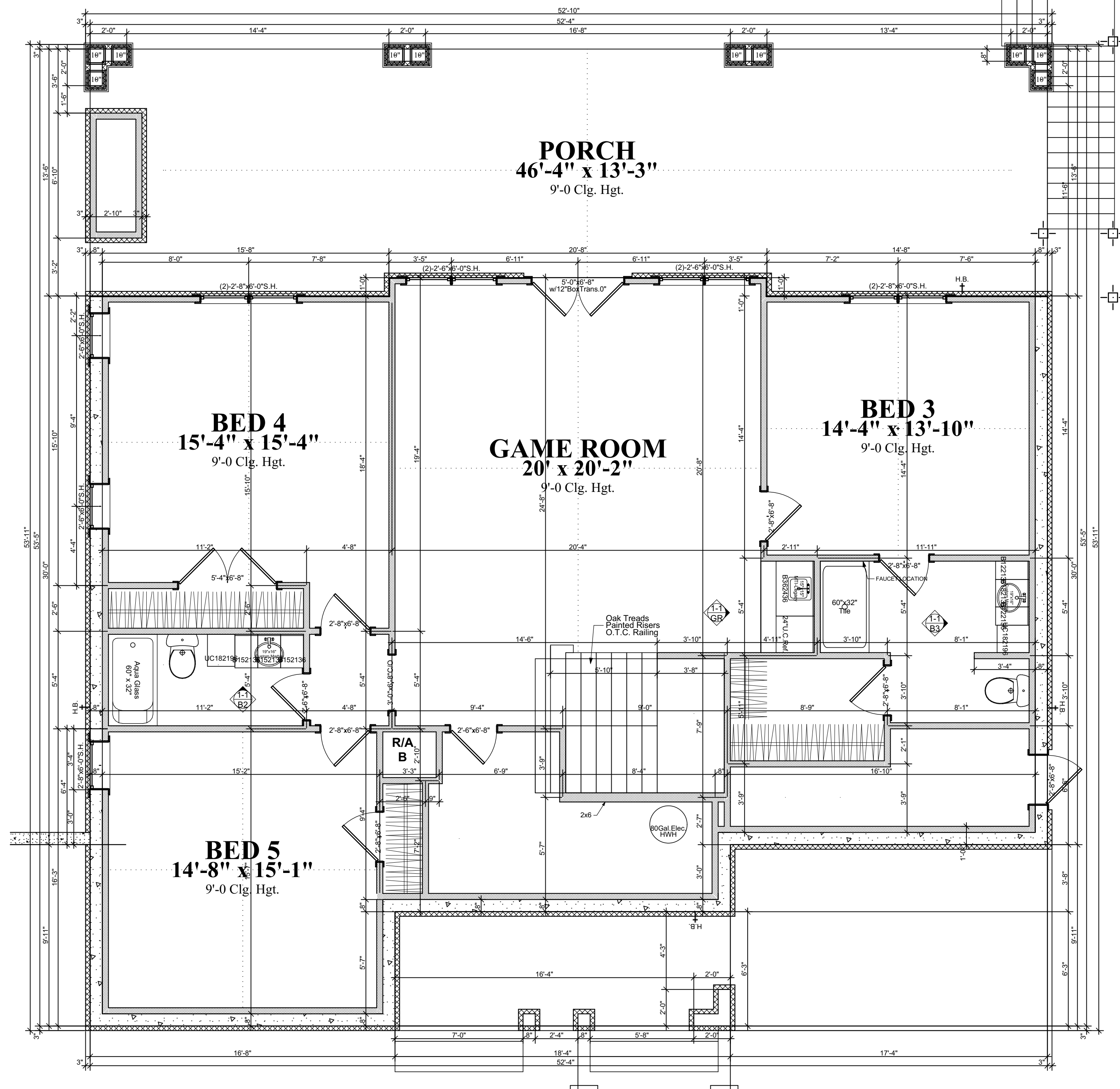


Floor (Story)	Cover Fill	Area	Notes	Renovation Status
BASEMENT	FL-Carpet	701.6		Existing
BASEMENT	FL-HW-06V	489.1		Existing
BASEMENT	FL-TILE	212.3		Existing
1st FLOOR	FL-Carpet	210.0		Existing
1st FLOOR	FL-DECK-06V	765.3		Existing
1st FLOOR	FL-HW-06H	157.2		Existing
1st FLOOR	FL-HW-06V	905.6		Existing
1st FLOOR	FL-TILE	241.5		Existing
		<b>3,662.6 sq ft</b>		

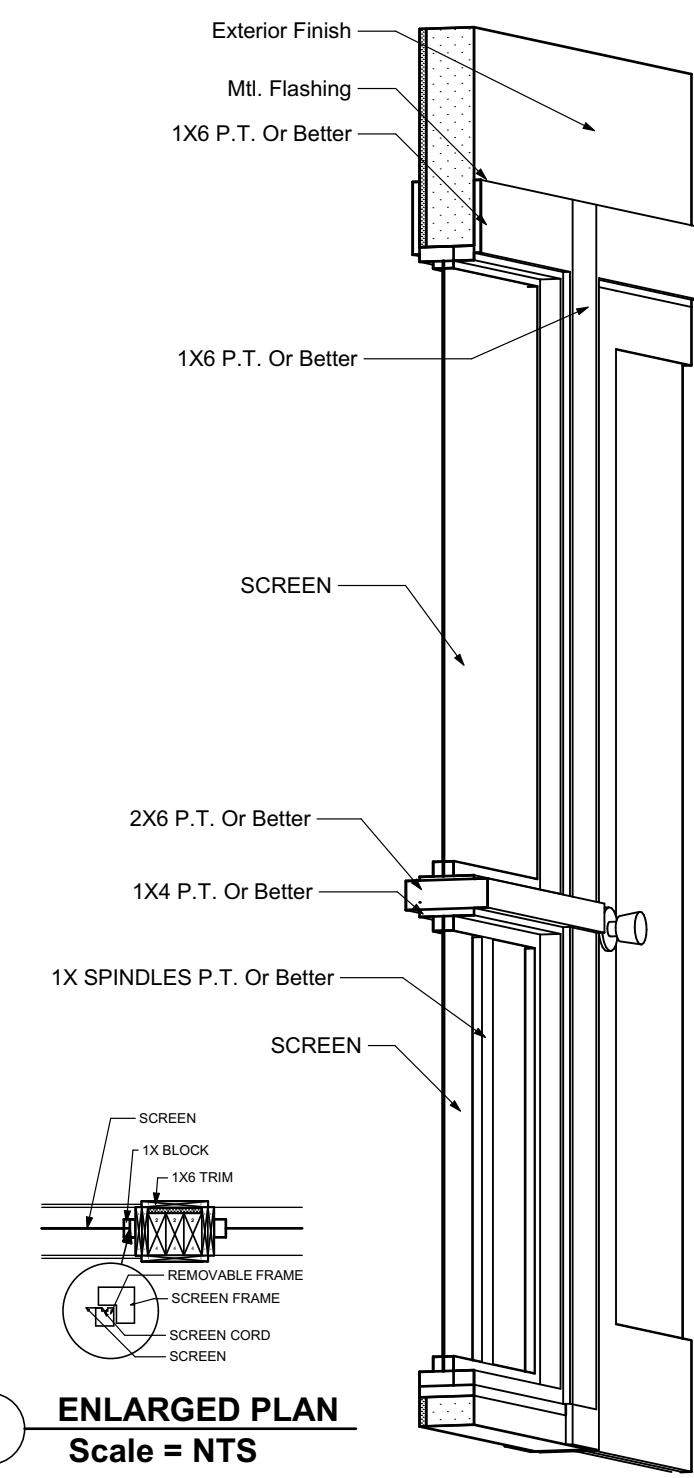


**-1. BASEMENT FINISH**  
SCALE: 1/8" = 1'-0"

**1. 1st. FLOOR FINISH**  
SCALE: 1/8" = 1'-0"



**-1. BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ENLARGED PLAN**  
Scale = NTS  
**D 1 SCREEN DETAIL**  
NOT TO SCALE

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**PLAN:**  
**A241-B11**  
**Abbey Cove 11**

**DIMENSIONS:**  
**WIDTH: 52'-10"**  
**DEPTH: 90'-07"**

**FOOTAGE:**  
1st Floor: 1,823.2  
Basemt. Floor: 1,543.7

**TOTAL LIVING 3,366.9**  
Car./Storage: 1,006.2  
Porches.: 1,486.2

**TOTAL ROOFED 5,859.3**

**ROOMS:**  
FLOORS: 2  
BEDROOMS: 5  
BATHS: 4  
STORAGE: 1  
GARAGE/PORT.: 2



2074 Hwy 14 East  
Prattville, AL 36066  
Office: 334.365.4567  
Fax: 334.491.2020  
Email: hudson1@hhdplans.com

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**CONTACT:**

**A-5**  
Floor Plan(s)

**Final Set**  
**10/25/2021**